
577 Granby Road

South Hadley, Massachusetts

Site Plan Review Permit Set

Prepared For:

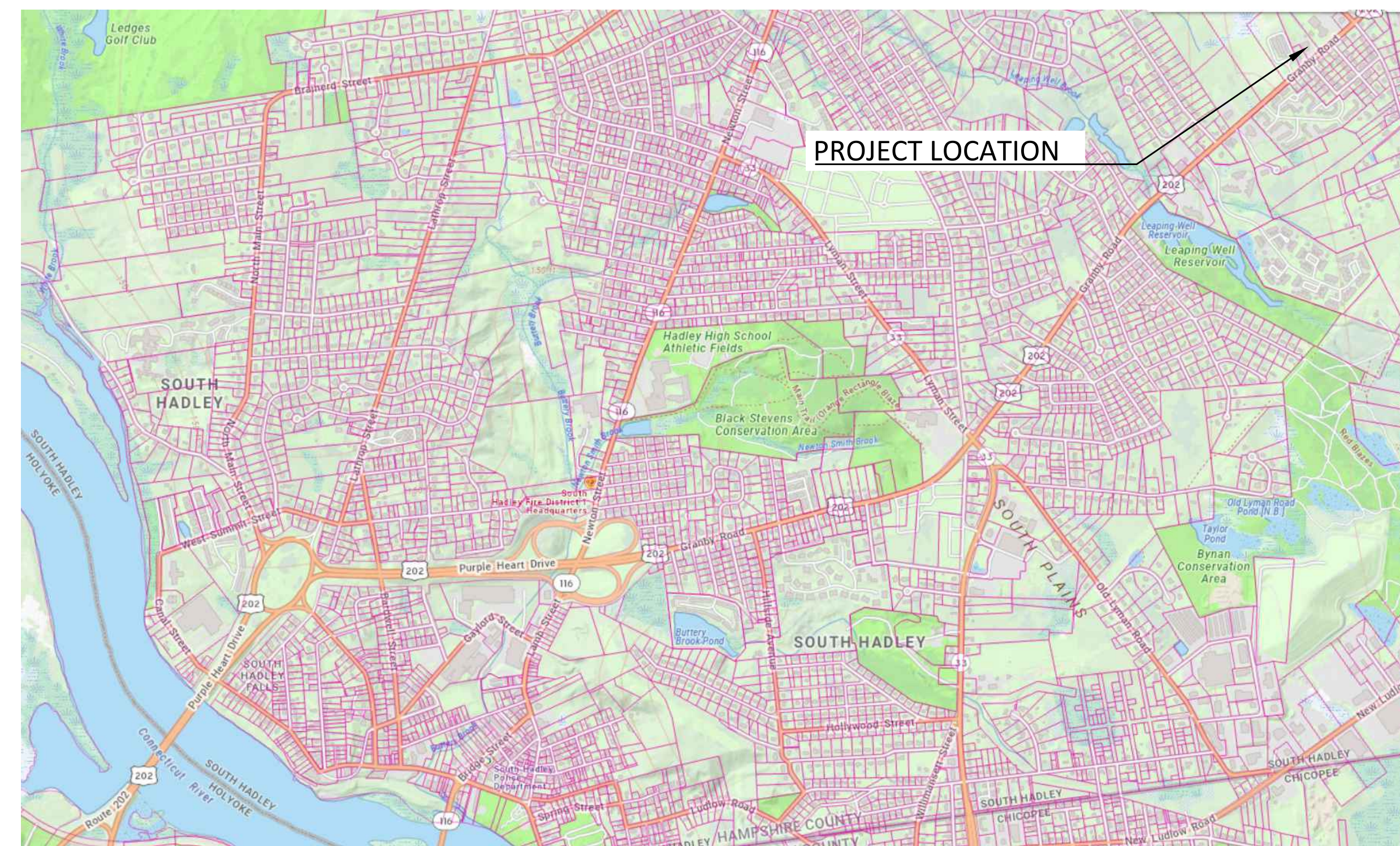
Jim Falcone
577 Granby Road
South Hadley, MA 01075

Prepared By:



Landscape Architecture
Civil Engineering
Planning
Land Surveying

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Locus Map

Date:

January 28, 2026

Sheet Index

	COVER
LC-100	EXISTING CONDITIONS
LC 111	SITE PLAN
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LC-500	SITE DETAILS
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EXISTING CONDITIONS NOTES

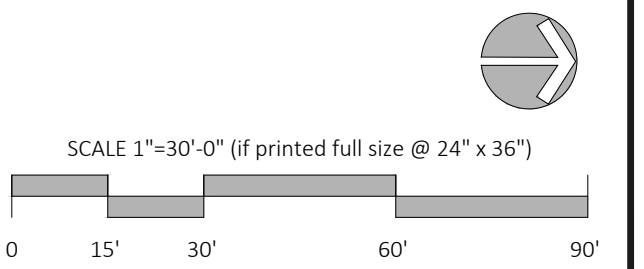
1. THE EXISTING CONDITIONS DEPICTED HEREON WERE OBTAINED FROM A SURVEY PLAN PUBLISHED IN SEPTEMBER 4, 2025 BY SMITH ASSOCIATES SURVEYORS, INC.
2. THIS PLAN IS PREPARED AS A SITE DESIGN AND IS NOT INTENDED TO BE USED FOR DETERMINATION OF PROPERTY LINES. THIS PLAN DOES NOT NECESSARILY SHOW ALL EXISTING EASEMENTS ON THE LOCUS PROPERTY.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IF A DISCREPANCY IS FOUND BETWEEN THIS PLAN AND THE ACTUAL FIELD CONDITION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BERKSHIRE DESIGN GROUP.
4. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
5. SURVEY WORK WAS NOT PERFORMED BY BERKSHIRE DESIGN GROUP; THEREFORE, SURVEY CONTROL WILL NOT BE PROVIDED.
6. LOCUS DEED REFERENCE = 8421 / 233
7. LOCUS PLAN REFERENCE = 206 / 125, 152 / 7, 182 / 102, 168 / 49, 137 / 71, 151 / 23, 172 / 16, 1927 STATE HIGHWAY LAYOUT, 2019 STATE HIGHWAY ALTERATION.
8. PROPERTY IS LOCATED IN THE ZONE PER THE SOUTH HADLEY GIS.
9. UTILITY INFORMATION SHOWN IS BASED ON INFORMATION FROM DEEDS AND PLANS OF RECORD. INFORMATION OBTAINED FROM THE SOUTH HADLEY ENGINEERING DEPARTMENT, DIG-SAFE MARKINGS AND SURFACE FEATURES LOCATED BY SURVEY. LOCATIONS ARE APPROXIMATE AND ADDITIONAL UTILITIES MAY EXIST AND NOT BE PLOTTED HEREON. CONTACT DIGSAFE PRIOR TO ANY EXCAVATION.
10. TOPOGRAPHIC INFORMATION IS BASED ON THE NAVD83 DATUM.

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577 Granby Rd
 South Hadley, MA

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EXISTING CONDITIONS



Revisions	

Date:	January 28, 2026	Sheet Number	
Scale:	1"=30'	LC-100	
Drawn By:	GRF		
Checked By:	JDS		

N/F SOUTH HADLEY PROPERTY HOLDINGS, LLC.
 573 GRANBY RD.

N/F HOULE PRC
 REAR EA

575 GRANBY RD.
 N/F PETERS, A.

N/F SECOND BAPTIST CHURCH OF HOLYOKE
 589 GRANBY RD.

TOTAL AREA
 2.79 Acres
 121,393.94 Sq. Feet

DETENTION BASIN
 INV. = 234.75
 PIPE TO ??

CATCH BASIN
 RIM = 238.77
 PIPE OUT TO ?

CATCH BASIN
 RIM = 238.7
 NO PIPES VISIBLE

CATCH BASIN
 RIM = 239.15
 NO PIPES VISIBLE

PROpane TANK

EXISTING BUILDING #577

GAR

PAVED

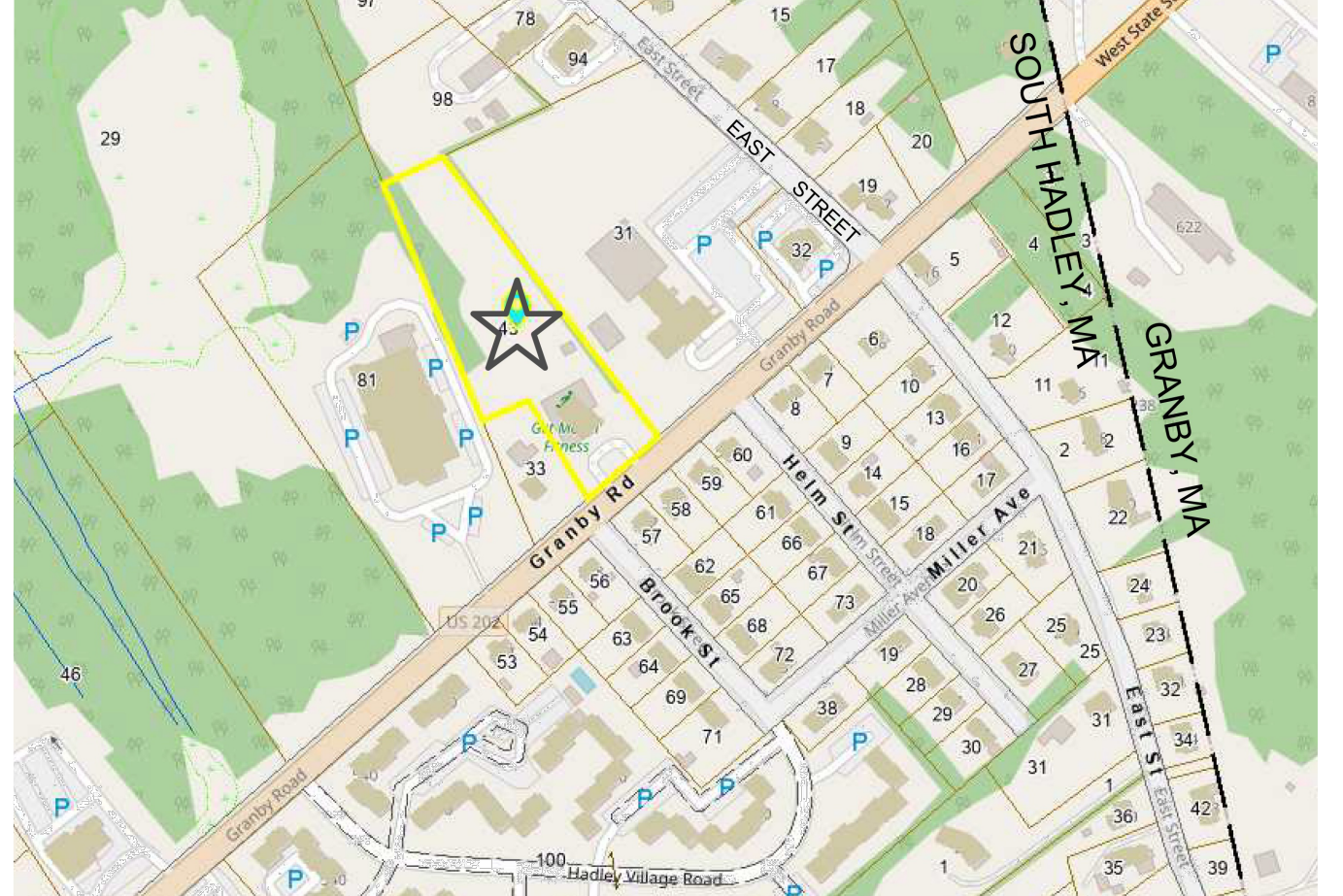
GRAVEL SURFACING

ADDITIONAL TOPO NEEDED
 IN THIS AREA. VERY THICK

IP FND. HLD FOR LINE
 +/- 2' INTO STREET

30' WIDE SEWER EASEMENT
 SEE HCRD PLAN - 172/13

Granby Road (RT 202)



1 LOCUS MAP
 SCALE: NOT TO SCALE

E:\SOUTH HADLEY - 577 GRANBY ROAD\GIS DESIGN PROCESS\04-DRAWINGS\03-032-LOC-100-EXISTING CONDITIONS.DWG PLOT DATE: 1/27/2026

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES AS NECESSARY TO PREVENT EROSION WITHIN THE SITE AND MIGRATION OF SEDIMENT OFF OF THE SITE, OR AS DIRECTED BY BERKSHIRE DESIGN GROUP. ALL DEVICES SHALL COMPLY WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, CURRENT VERSION, PUBLISHED BY MASSDEP.
2. THE PROPOSED WORK WILL DISTURB MORE THAN ONE ACRE OF LAND, AND IS SUBJECT TO PERMITTING BY THE US ENVIRONMENTAL PROTECTION AGENCY (EPA) UNDER THE NPDES CONSTRUCTION ACTIVITIES PERMIT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NPDES PERMIT, INCLUDING PREPARATION AND MAINTENANCE OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE SITE.
3. THE CONTRACTOR SHALL INSPECT ALL INSTALLED EROSION CONTROL DEVICES AT LEAST WEEKLY AND AFTER EACH STORM. IF ANY DEVICE IS FOUND TO BE DAMAGED, THE CONTRACTOR SHALL REPAIR IT IMMEDIATELY. IF SEDIMENT IS FOUND TO FILL MORE THAN HALF THE HEIGHT OF THE DEVICE, THE SEDIMENT SHALL BE REMOVED OR THE DEVICE REPLACED.
4. ALL VEHICLES ENTERING AND EXITING THE SITE SHALL BE REQUIRED TO CROSS A TRACKING PAD TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADWAYS. IF SEDIMENT IS FOUND ON ROADWAYS, THE SEDIMENT SHALL BE REMOVED IMMEDIATELY.
5. THE CONTRACTOR SHALL INSTALL EROSION CONTROL BARRIER ALONG ALL DOWN SLOPE SITE LIMITS TO PREVENT THE MIGRATION OF SEDIMENT OFF-SITE.
6. THE CONTRACTOR SHALL UTILIZE EROSION CONTROL BLANKET TO PROTECT ALL SLOPES STEEPER THAN 3H:1V UNTIL PERMANENTLY STABILIZED.
7. ALL SOIL STOCKPILES SHALL BE SURROUNDED BY A CONTINUOUS SILT FENCE. IF THE STOCKPILE WILL REMAIN UNUSED FOR MORE THAN 30 DAYS, THE STOCKPILE SHALL BE STABILIZED BY TEMPORARY SEEDING OR OTHER APPROVED METHOD.
8. ALL DEWATERING DISCHARGES SHALL BE DIRECTED TO A DEWATERING SEDIMENT TRAP.
9. THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF EXTRA EROSION CONTROL MATERIALS THAT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ON SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL MONITOR WEATHER THROUGHOUT THE PROJECT AND PREPARE THE SITE IN ADVANCE OF SEVERE WEATHER IN ORDER TO PREVENT DAMAGE TO WORK IN PLACE AND SEDIMENT MIGRATION OFF OF THE SITE.
11. THE CONTRACTOR SHALL IMPLEMENT SPILL-PREVENTION PROCEDURES AND MAINTAIN A SPILL PREVENTION AND CLEANUP PLAN FOR THE SITE. ALL MATERIALS THAT ARE CAPABLE OF SPILLING, LEAKING, DISSOLVING OR OTHERWISE POLLUTING STORMWATER RUNOFF SHALL BE COVERED WHILE STORED AT THE SITE.
12. ALL SEDIMENT REMOVED FROM THE SITE SHALL BE HANDLED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
13. ALL TEMPORARY EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE SITE IS FULLY STABILIZED. AFTER STABILIZATION, TEMPORARY EROSION CONTROLS SHALL BE REMOVED FROM THE SITE PRIOR TO THE COMPLETION OF THE WORK.

SITE PREPARATION/DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO DETERMINE THE EXTENT OF DEMOLITION NECESSARY TO PREPARE THE SITE FOR CONSTRUCTION AND SHALL VERIFY ALL ITEMS TO BE DEMOLISHED OR SALVAGED WITH BERKSHIRE DESIGN GROUP PRIOR TO BEGINNING WORK.
2. CARE SHALL BE TAKEN NOT TO DAMAGE ANY ITEMS DESIGNATED TO REMAIN. REPAIR OR REPLACEMENT OF DAMAGED ITEMS DESIGNATED TO REMAIN SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
4. DISPOSAL OF PROPERTY DESIGNATED TO BE REMOVED SHALL BE AT THE DIRECTION OF BERKSHIRE DESIGN GROUP OR OWNER, AND SHALL CONFORM TO ALL APPLICABLE LAWS AND REGULATIONS. ALL SALVAGEABLE MATERIAL SHALL BE DELIVERED BY THE CONTRACTOR TO STORAGE AREAS DESIGNATED BY BERKSHIRE DESIGN GROUP OR THE OWNER. CONTRACTOR SHALL REMOVE ALL EXISTING UNSUITABLE MATERIALS FROM THE SITE.
5. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN AS SHOWN ON THE PLANS AND DETAILS.
6. ALL STRIPPED TOPSOIL TO BE RE-USED SHALL BE SCREENED AND STOCKPILED IN AN AREA DESIGNATED BY BERKSHIRE DESIGN GROUP OR THE OWNER. ANY EXCESS TOPSOIL THAT WILL NOT BE INCORPORATED INTO THE WORK SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL TOPSOIL AS NEEDED TO MEET THE SPECIFICATIONS.
7. THE CONTRACTOR MAY USE TEMPORARY FENCING TO CONTROL THE SITE DURING CONSTRUCTION. PRIOR TO THE FINAL COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING AND BARRICADES.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UNDERGROUND UTILITIES TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, REGARDLESS OF WHETHER THE UTILITY THAT WAS DAMAGED WAS SHOWN ON THE PLANS.
9. ALL PROPERTY BOUNDARY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A PROFESSIONAL LAND SURVEYOR TO RE-SET OR REPLACE ANY MONUMENT DAMAGED OR ALTERED BY CONSTRUCTION ACTIVITIES.

LAYOUT NOTES

1. ALL LINES OR POINTS ARE PERPENDICULAR OR PARALLEL TO LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED; WRITTEN DIMENSIONS SHALL PREVAIL.
2. THE CONTRACTOR SHALL VERIFY ALL LAYOUT, DIMENSIONS, GRADES, AND INVERTS PRIOR TO CONSTRUCTION; REPORT ANY DISCREPANCIES TO BERKSHIRE DESIGN GROUP. ALL DISCREPANCIES SHALL BE RESOLVED IN WRITING PRIOR TO BEGINNING WORK.
3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF SOUTH HADLEY AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
4. ALL AREAS DISTURBED FROM CONSTRUCTION ACTIVITY TO RECEIVE 6" (MIN.) TOPSOIL AND TO BE RAKED, SMOOTHED, FERTILIZED AND SEEDED WITH PERENNIAL TURFGRASSES UNLESS OTHERWISE NOTED.
5. ALL NEW WALKS AND SURFACES TO MEET EXISTING WALKS AND SURFACES WITH SMOOTH, CONTINUOUS LINE AND GRADE.
6. THE CONTRACTOR SHALL NOT INSTALL CONCRETE, ASPHALT, RUBBER, AND OTHER HARDSURFACE SURFACING DURING ADVERSE WEATHER CONDITIONS (RAIN, SLEET, ETC.).
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXCESS OR SPILLED CONCRETE, ASPHALT, AGGREGATE AND OTHER MATERIALS FROM THE SITE.
8. CAD FILES FOR THE PROJECT WILL BE MADE AVAILABLE BY BERKSHIRE DESIGN GROUP FOR THE CONVENIENCE OF THE CONTRACTOR UPON REQUEST. THE CONTRACTOR SHALL BE BOUND BY BERKSHIRE DESIGN GROUP'S TERMS AND CONDITIONS FOR USE OF ELECTRONIC FILES. EXISTING SURVEY CONTROL DATA WILL NOT BE PROVIDED.



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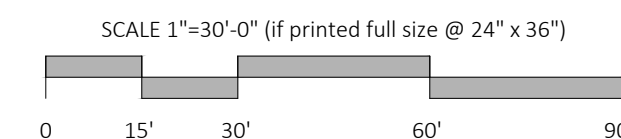
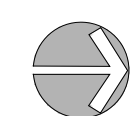
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577 Granby Rd
South Hadley, MA

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SITE PLAN



Revisions

Date:	January 28, 2025	Sheet Number
Scale:	1"=30'	LC-111
Drawn By:	GRF	
Checked By:	JDS	

ZONING SUMMARY - BUSINESS A1 ZONE

	PER ZONING	EXISTING	PROPOSED
MIN. LOT AREA	25,000 SF	121,394 SF	121,393
MIN. FRONTAGE	125 LF	171 LF	171 LF
MAX. BLDG COVERAGE	30% (c)	6%	12%
MAX. IMPERVIOUS COVERAGE	80%	22%	46%
FRONT SETBACK	0 (a/e)	84 LF	84 LF
SIDE SETBACK	15 LF (b)	15 LF	15 LF
REAR SETBACK	50 LF (d)	495 LF	87 LF
MAX. BLDG STORIES	3 LF (f)	1	1
MAX. BLDG HEIGHT	45 LF (f)	15 LF	15 LF

a. A minimum of eight feet abutting any public way shall be seeded. Egress to the lot shall be by drives located at locations designated by the governing public authority.

b. There shall be a side yard of at least 35 feet between a building and any street line. There shall be a side yard of at least 50 feet between a business building and any adjacent residential zone.

c. Total building coverage of principal and accessory uses shall not exceed 30%.

d. Where the subject property abuts property located in the Business A, Business A-1, Business B, Business C, Industrial A, Industrial B, or Industrial Garden District Zoning Districts, the rear minimum yard setback shall be the greatest of either (1) the setback required by the zoning for the abutting property or (2) 25 feet.

e. There is no minimum front setback for buildings. The front setback for any parking lot, shall be 15 feet and the area between the lot line and the edge of the parking shall be landscaped in accordance with the standards in § 255-83A(6).

f. However, the height limitations for buildings on parcels of less than one acre shall be "2" stories and "35" feet; except in the South Hadley Falls Overlay District where the maximum allowed height on any parcel shall be "3" stories and "45" feet.

PARKING SUMMARY

USE	REQUIRED	PROPOSED
RETAIL / PERSONAL SERVICES	4 SPACES / 1,000 SQUARE FEET OF FLOOR SPACE*	7,000 SF FLOOR SPACE 12 SPACES
INDUSTRIAL / WAREHOUSE	1 SPACE / 1,000 SQUARE FEET OF FLOOR SPACE OR 1 SPACE / ANTICIPATED EMPLOYEE, CUSTOMER, AND COMPANY VEHICLE	

*Excludes space used for storage.

E:\SOUTH HADLEY - 577 GRANBY ROAD\03 DESIGN\PROCESSING\DRAWINGS\25-0321-LC-111 SITE PLAN.DWG - PLOT DATE: 1/28/2025

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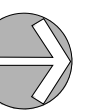
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GRADING & UTILITIES PLAN



SCALE 1"=30'-0" (if printed full size @ 24" x 36")



Revisions	

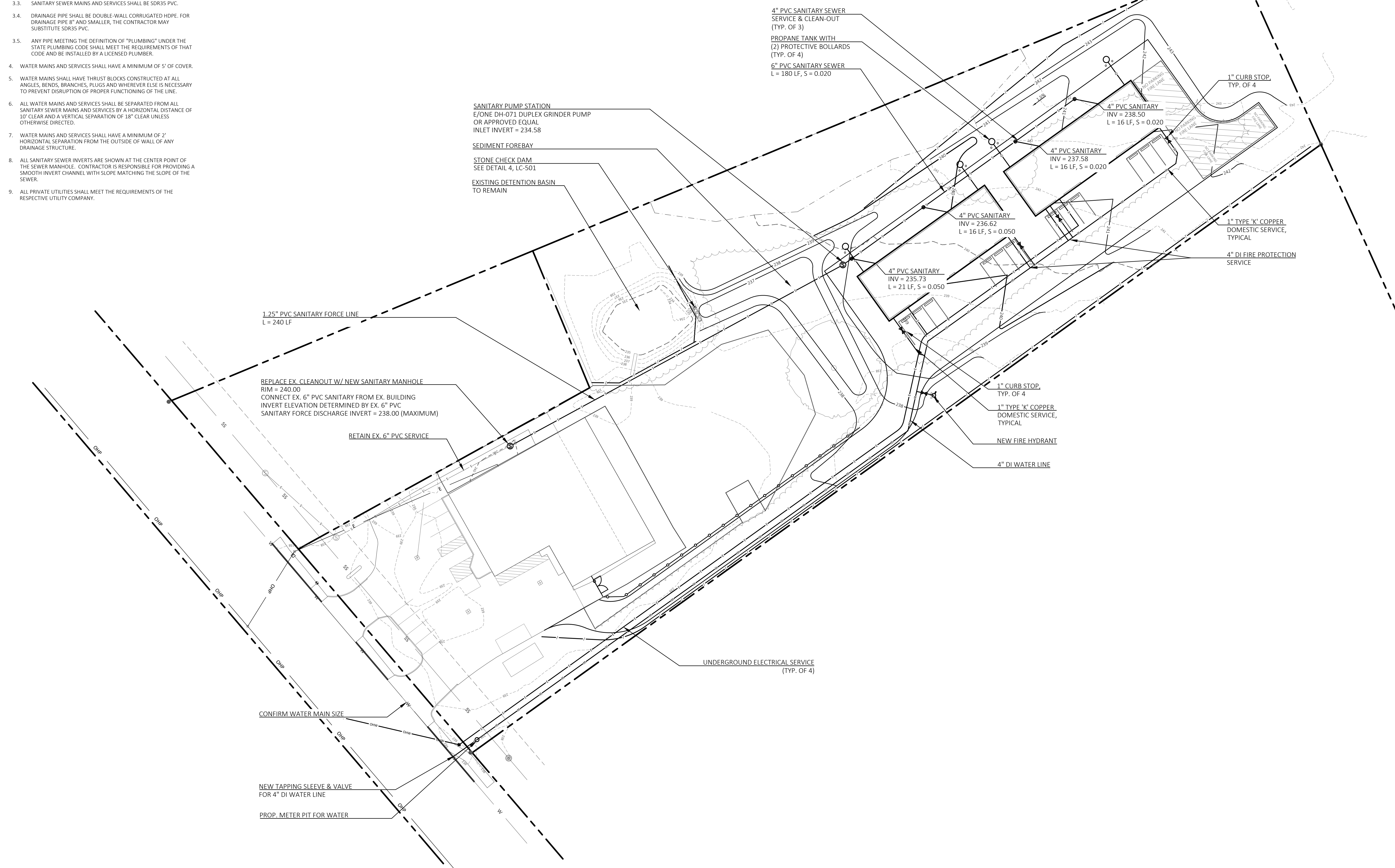
Date:	January 28, 2025	Sheet Number	LC-121
Scale:	1"=30'		
Drawn By:	LM		
Checked By:	JDS		

UTILITY NOTES

1. THE LOCATION, SIZE, AND TYPES OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. BERKSHIRE DESIGN GROUP DOES NOT WARRANT THE UTILITY INFORMATION DEPICTED. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 811.
2. SURFACE UTILITY STRUCTURES SHALL BE SET TO THE RIM ELEVATION INDICATED ON THE PLANS. IF NO RIM ELEVATION IS PROVIDED, SET ALL NEW OR ADJUSTED CATCH BASIN RIMS IN NON-PEDESTRIAN AREAS 1/4" BELOW FINISHED GRADE. ALL OTHER SURFACE UTILITY STRUCTURES SHALL BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
3. UTILITY PIPE MATERIALS SHALL BE THE FOLLOWING, UNLESS OTHERWISE NOTED:
 - 3.1. WATER MAINS AND SERVICES 4" AND LARGER SHALL BE PRESSURE CLASS 350, CEMENT-LINED DUCTILE IRON.
 - 3.2. WATER SERVICES SMALLER THAN 4" SHALL BE TYPE K COPPER.
 - 3.3. SANITARY SEWER MAINS AND SERVICES SHALL BE SDR35 PVC.
 - 3.4. DRAINAGE PIPE SHALL BE DOUBLE-WALL CORRUGATED HDPE. FOR DRAINAGE PIPE 8" AND SMALLER, THE CONTRACTOR MAY SUBSTITUTE SDR35 PVC.
 - 3.5. ANY PIPE MEETING THE DEFINITION OF "PLUMBING" UNDER THE STATE PLUMBING CODE SHALL MEET THE REQUIREMENTS OF THAT CODE AND BE INSTALLED BY A LICENSED PLUMBER.
4. WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 5' OF COVER.
5. WATER MAINS SHALL HAVE THRUST BLOCKS CONSTRUCTED AT ALL ANGLES, BENDS, BRANCHES, PLUGS AND WHEREVER ELSE IS NECESSARY TO PREVENT DISRUPTION OF PROPER FUNCTIONING OF THE LINE.
6. ALL WATER MAINS AND SERVICES SHALL BE SEPARATED FROM ALL SANITARY SEWER MAINS AND SERVICES BY A HORIZONTAL DISTANCE OF 10' CLEAR AND A VERTICAL SEPARATION OF 18" CLEAR UNLESS OTHERWISE DIRECTED.
7. WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 2' HORIZONTAL SEPARATION FROM THE OUTSIDE OF WALL OF ANY DRAINAGE STRUCTURE.
8. ALL SANITARY SEWER INVERTS ARE SHOWN AT THE CENTER POINT OF THE SEWER MANHOLE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SMOOTH INVERT CHANNEL WITH SLOPE MATCHING THE SLOPE OF THE SEWER.
9. ALL PRIVATE UTILITIES SHALL MEET THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY.

GRADING NOTES

1. ALL SIDEWALKS/WALKWAYS SHALL CONFORM TO THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD'S (MAAB) REQUIREMENTS.
 - 1.1. UNLESS OTHERWISE NOTED:
 - 1.1.1. TYPICAL SIDEWALK/WALKWAY CROSS-SLOPE SHALL BE 1.0% MINIMUM, 2.0% MAXIMUM.
 - 1.1.2. SIDEWALK/WALKWAY RUNNING SLOPE SHALL BE 1.0% MINIMUM, 5.0% MAXIMUM.
 - 1.1.3. SLOPES SHALL NOT EXCEED 2% ACROSS ANY ACCESSIBLE PARKING SPACE AND ACCESS AISLES.
2. THE CONTRACTOR SHALL VERIFY ALL LAYOUT, DIMENSIONS, GRADES, AND INVERTS PRIOR TO CONSTRUCTION; REPORT ANY DISCREPANCIES TO BERKSHIRE DESIGN GROUP. ALL DISCREPANCIES SHALL BE RESOLVED IN WRITING PRIOR TO BEGINNING WORK.



E:\SOUTH HADLEY - 577 GRANBY ROAD\03-DESIGN\PROCESSING\DRAWINGS\35-032-1C-121 GRADING & UTILITIES.DWG - PLOT DATE: 1/28/2025

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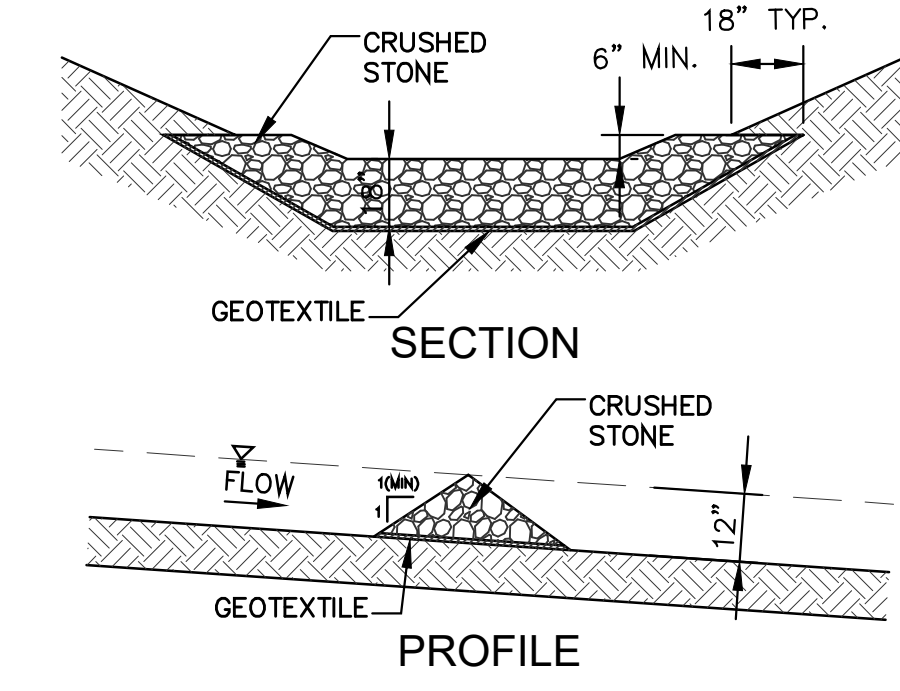
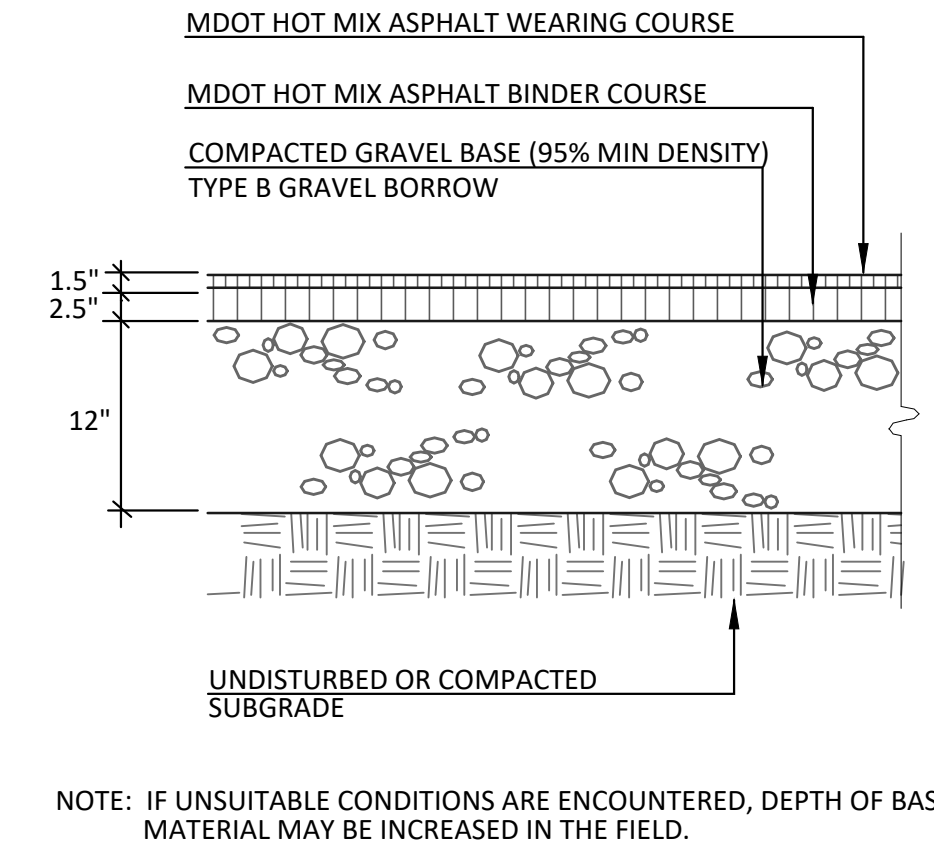
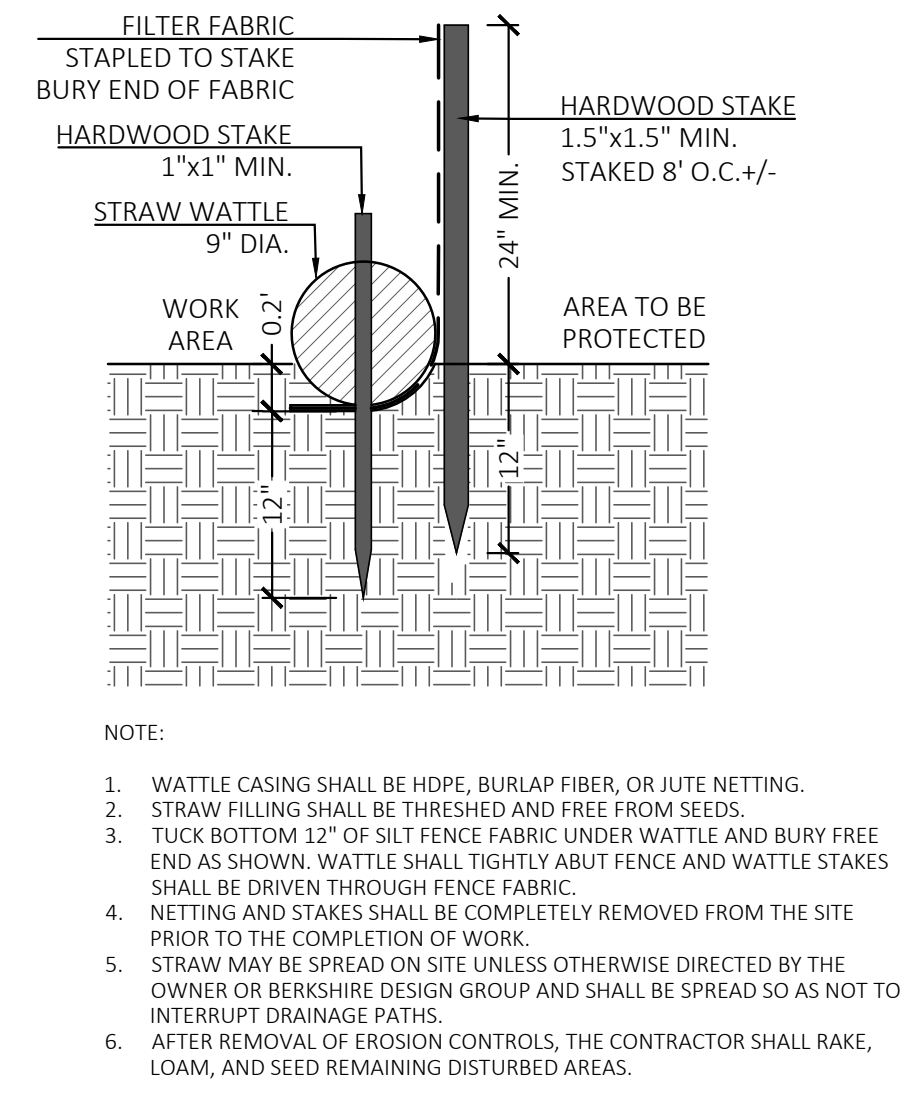
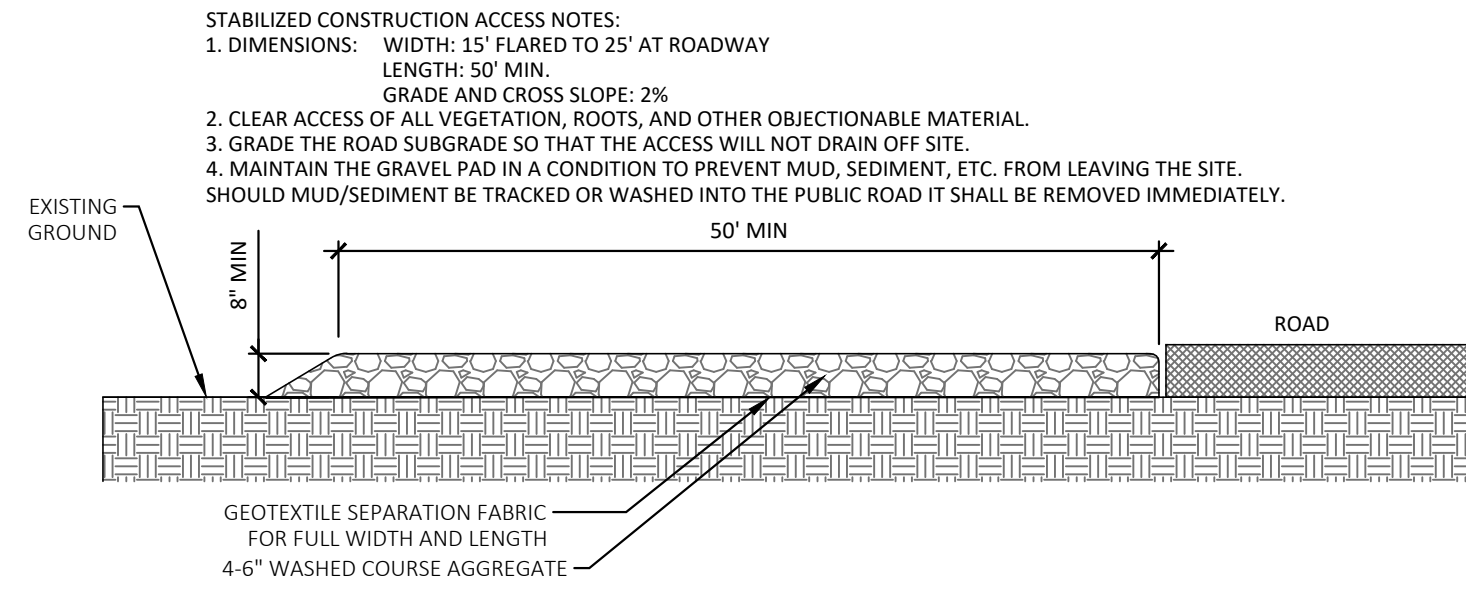
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SITE DETAILS

Revisions

Date: January 28, 2026
Scale: AS NOTED
Drawn By: LM/JDS
Checked By: JDS

Sheet Number
LC-500

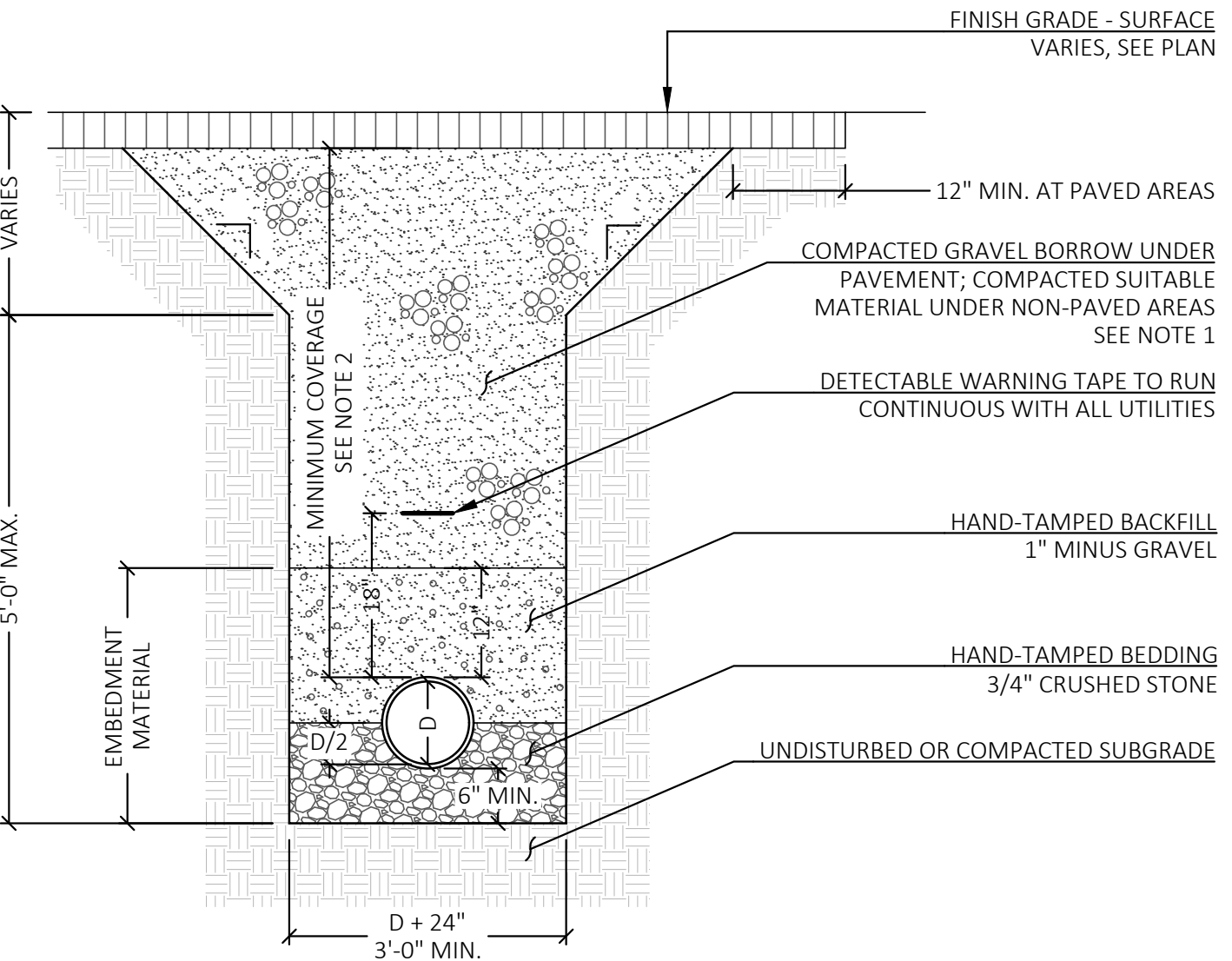
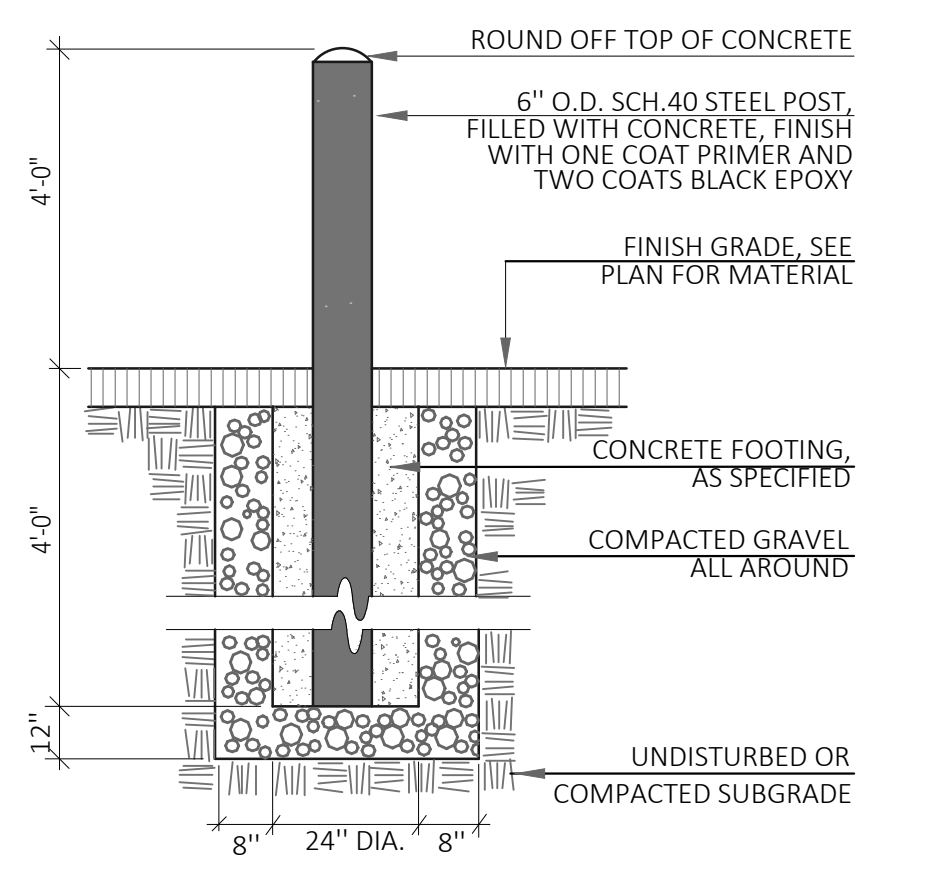
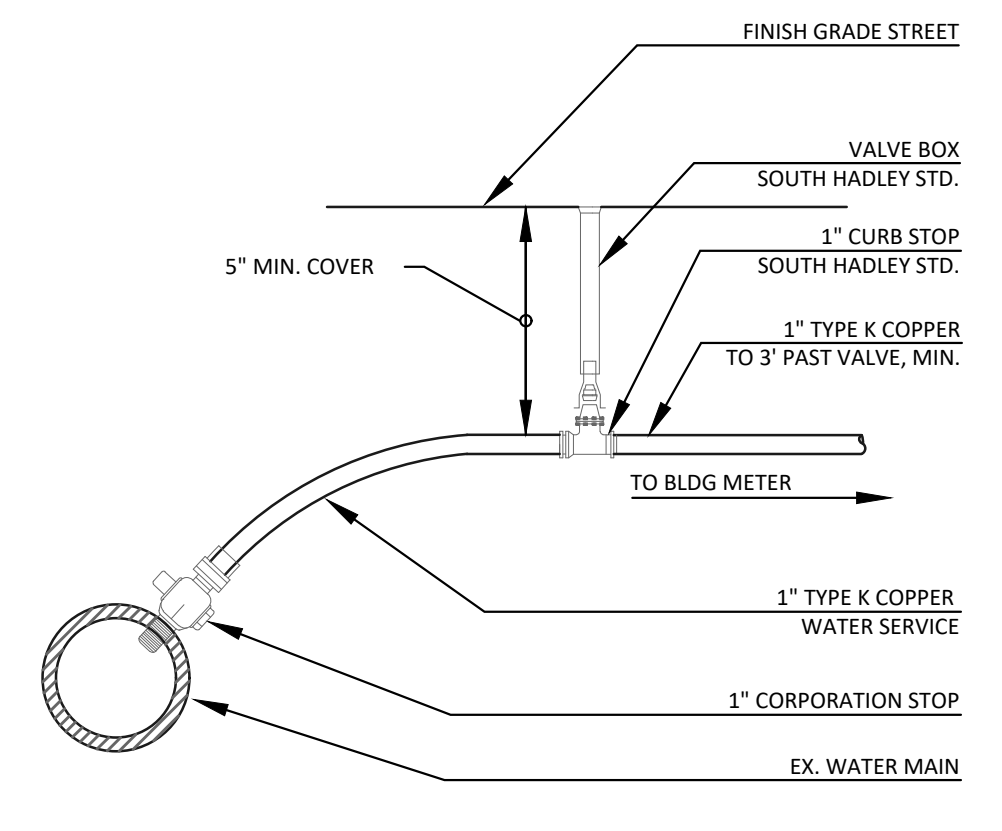
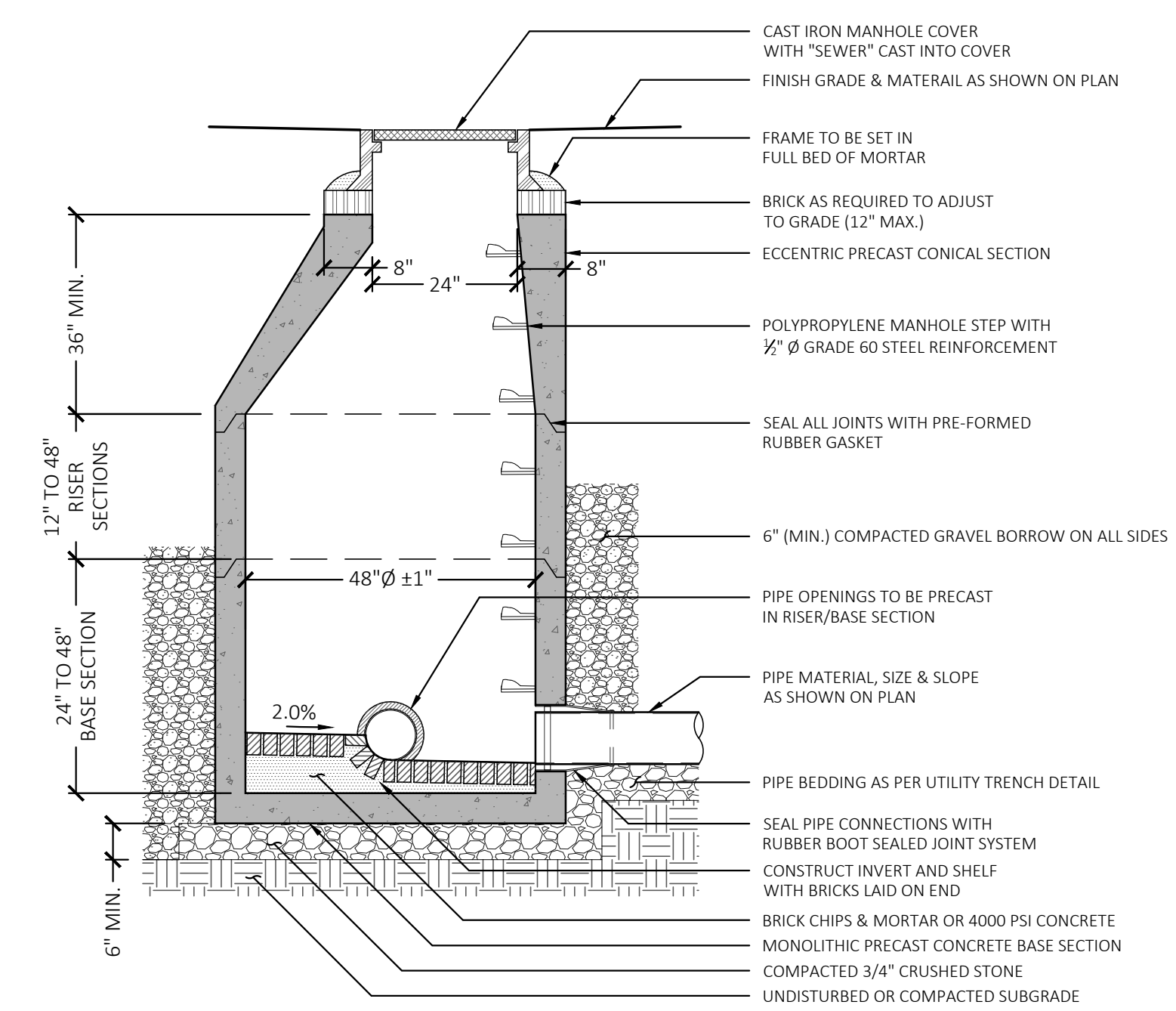


1 TEMPORARY TRACKING PAD
SCALE: NOT TO SCALE

2 SILT FENCE WITH STRAW WATTLE
SCALE: NOT TO SCALE

3 ASPHALT PAVING
SCALE: NOT TO SCALE

4 STONE-CHECK DAM
SCALE: NOT TO SCALE

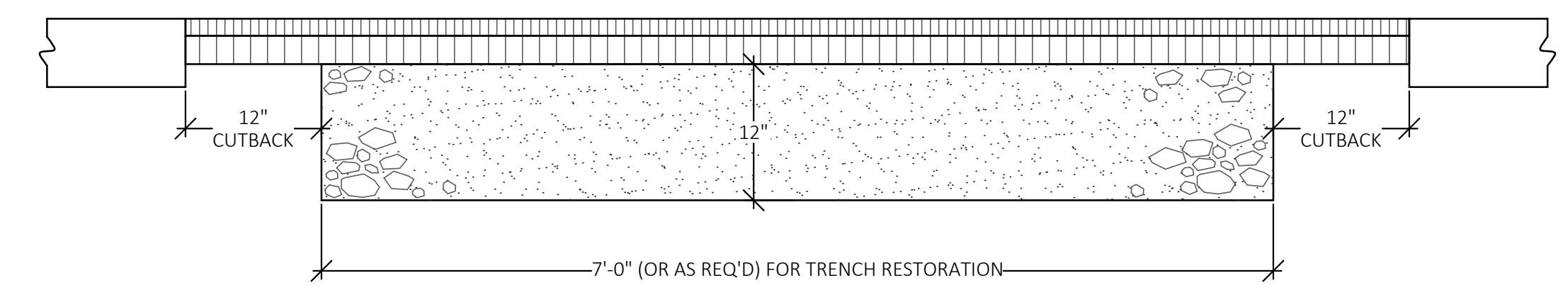


5 SANITARY MANHOLE
SCALE: NOT TO SCALE

6 DOMESTIC WATER SERVICE
SCALE: NOT TO SCALE

7 STEEL BOLLARD
SCALE: NOT TO SCALE

8 UTILITY TRENCH
SCALE: NOT TO SCALE



9 BITUMINOUS CONCRETE PAVEMENT PATCH
SCALE: NOT TO SCALE

